



Drawing Index

Drawing Number	Drawing Name
1	Cover Page and Site Plan
2	Foundation and Lower Floor Plans
3	Main Floor Plan
4	Elevations and Perspectives
5	Sections and Details
6	Sections, Roof Plan and Details

Legal Address

Lot 5 Byersview

Civic Address

1121 19th Avenue
Salmon Arm, BC

Zoning

R1	Single Family
1.5m	Side yard setback
6.0m	Front yard setback
6.0m	Rear yard setback
10.0m	Max height
40%	Coverage
0.65	Floor area ratio

Site Coverage

(Measured in square feet)

Lot	9135
House (main floor)	2182
Garage	698
Deck	629
Total	3509
Coverage	38.4%

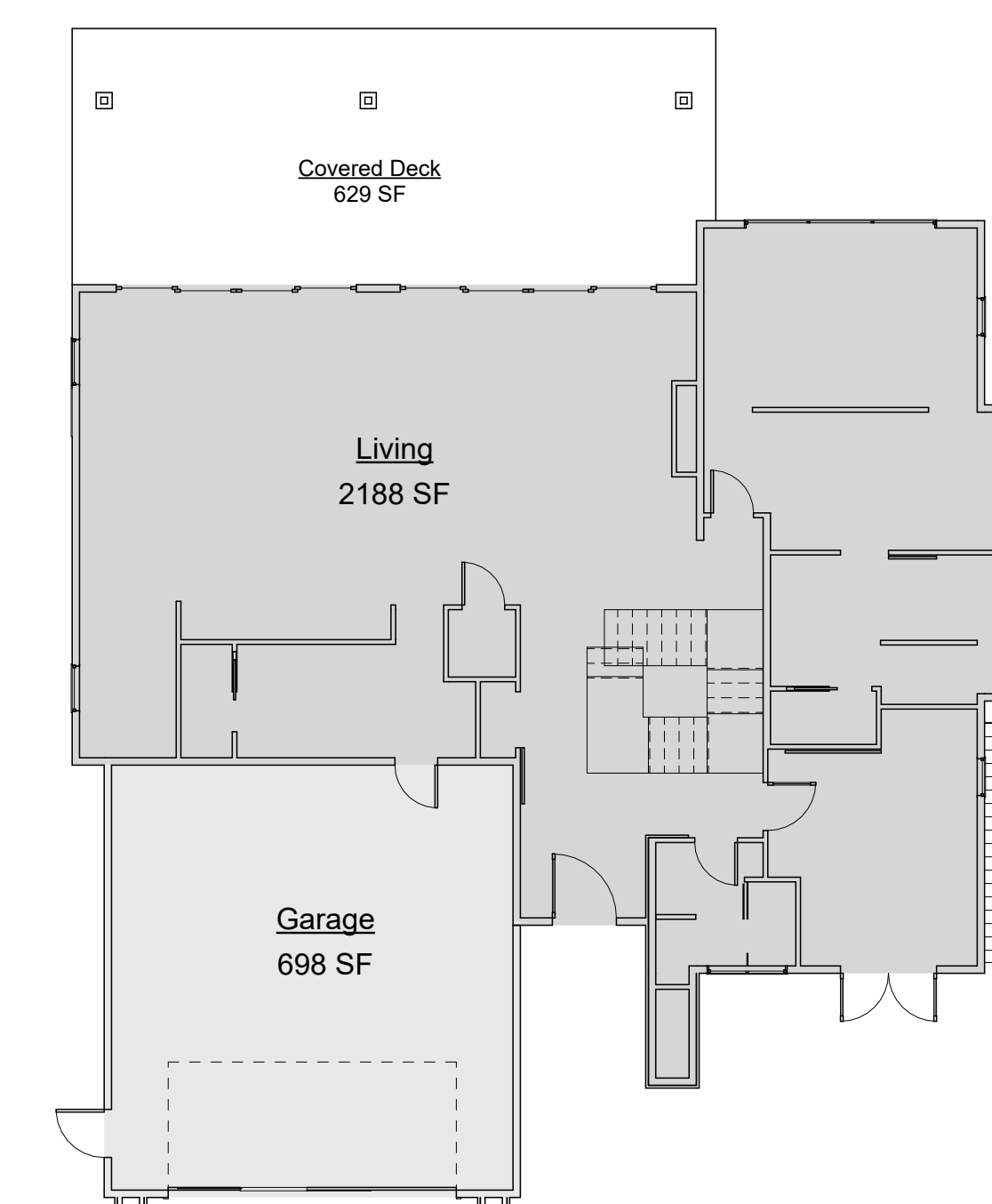
Floor Area Ratio

(Measured in square feet)

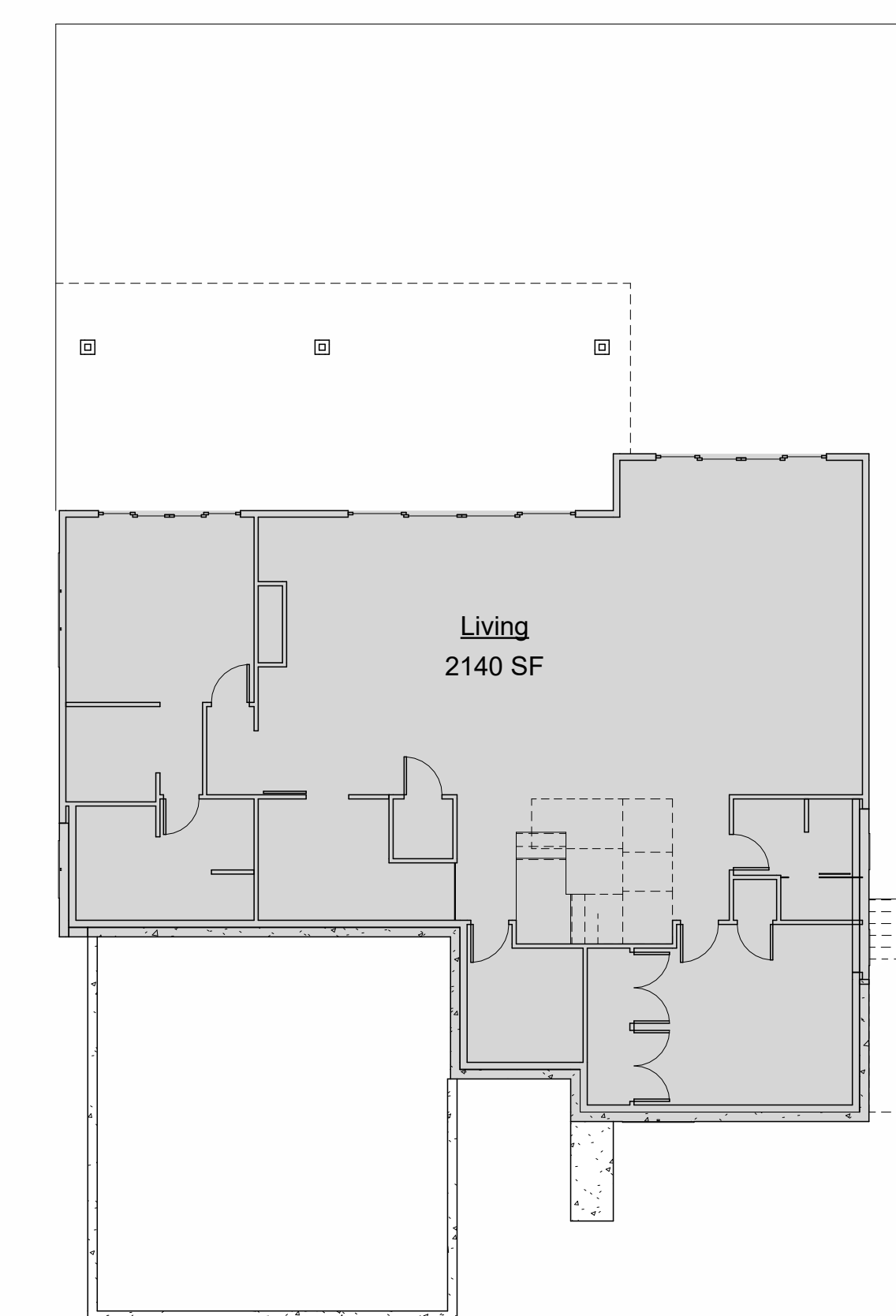
Lot	9135
House (main floor)	2182
House (lower floor)	2140
Deck (main floor)	632
Total	4954
Floor area ratio	0.54



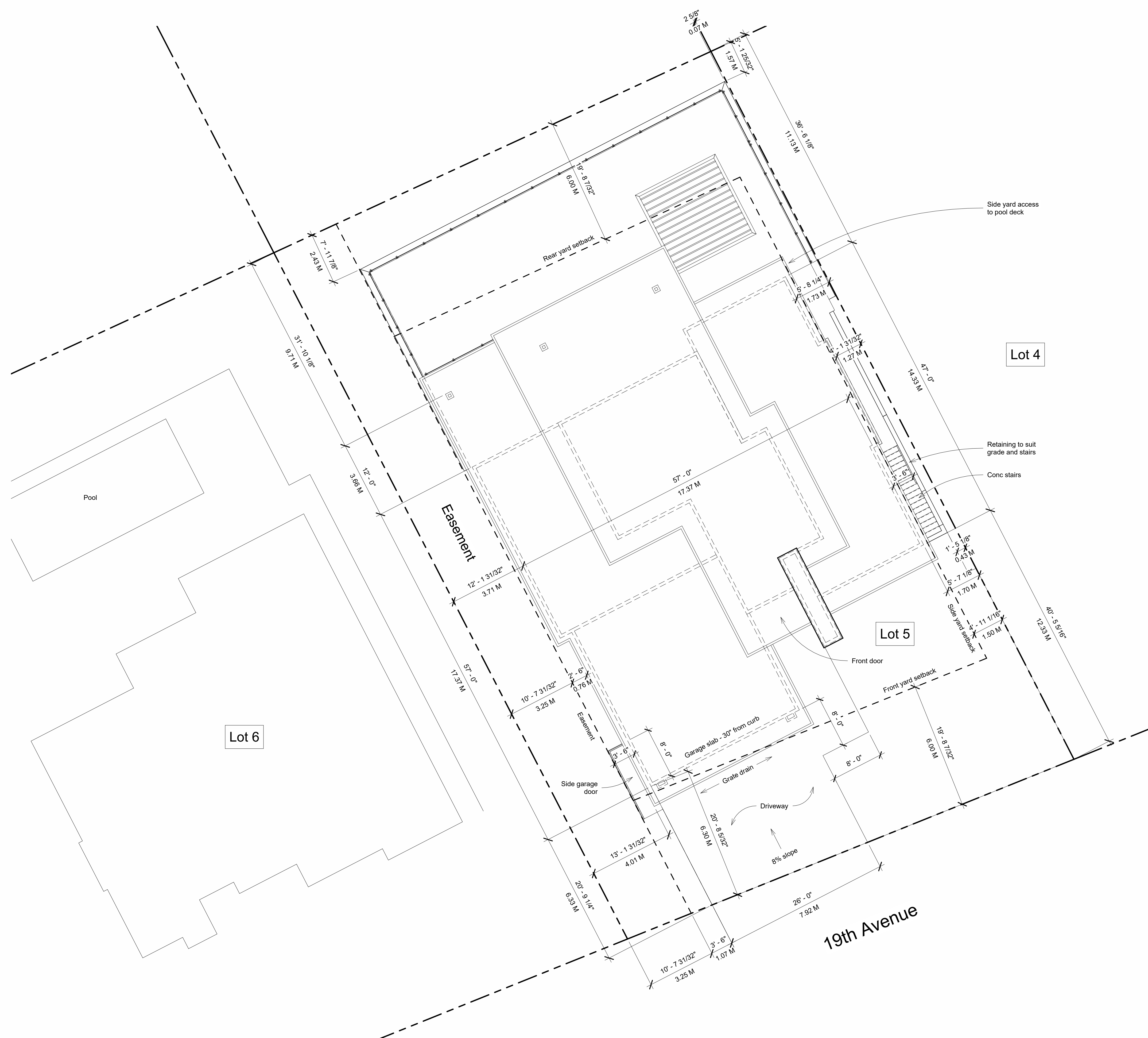
6 Front Perspective - Birds Eye



4 Main Floor Areas
3/32" = 1'-0"



5 Lower Floor Areas
3/32" = 1'-0"



1 Site Plan
1/8" = 1'-0"

General Notes

All work to be in compliance with the current residential standards of the National Building Code of Canada, current electrical and plumbing codes and all local building code and bylaws which may take precedence

All work shall be performed in all respects to good building practice

Written dimensions to be followed. Do not scale from the drawings

Site

- Building location to be verified by surveyor prior to construction.
- Foundations to be poured on undisturbed engineered building pad.
- All measurements, grades and levels to be verified on site before commencing construction

Framing and Foundations

- All dimensions to face of stud unless otherwise noted.
- All headers, beams, columns and supporting foundations to be confirmed by the roof truss and floor system supplier.
- Roof truss and floor joist layout will be provided by the manufacturer
- All suspended slabs and foundations walls over 8' must be designed and/or approved by a professional engineer.
- All standard foundations to conform with engineering, soil conditions and best practices.
- All concrete to have a minimum compressive strength of 20mpa at 28 days. Do not backfill tall foundations until floor structure is complete.
- Any roof truss web configurations shown are for representation only. Engineered drawings of each truss will be supplied by the truss supplier.
- All joists spans more than 7'-0 shall be bridged at mid span using 2x2 diagonal bracing installed as per N.B.C.
- Flashing to be installed at all penetrations in roof system and changes in roof plane.
- Flashing to be installed at all changes in horizontal exterior finishes and over all unprotected openings. Caulking to be installed around all unflashed exterior openings

Thermal Performance

- All new construction must conform to BCBC 9.36 thermal performance codes

Plumbing, Electrical and Mechanical Systems

- All plumbing to be designed and installed per current plumbing codes and by a qualified plumber.
- Confirm layouts and dimensions with suppliers of all kitchens, bars, washrooms, laundry rooms, utility rooms, in-floor heating, etc.
- All fixtures to be approved by the owner
- Heating and venting calculations and system design by engineer, supplier or qualified installer.
- Electrical system to be designed and installed by qualified electrician

Local Bylaws and Development Regulations

- All construction will be within local bylaw requirements. These include design restrictions, height restrictions, frost coverage, water run off containment, water consumption, landscaping, etc.
- Any changes required to these designs should be reported to Meyer Designs
- Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval

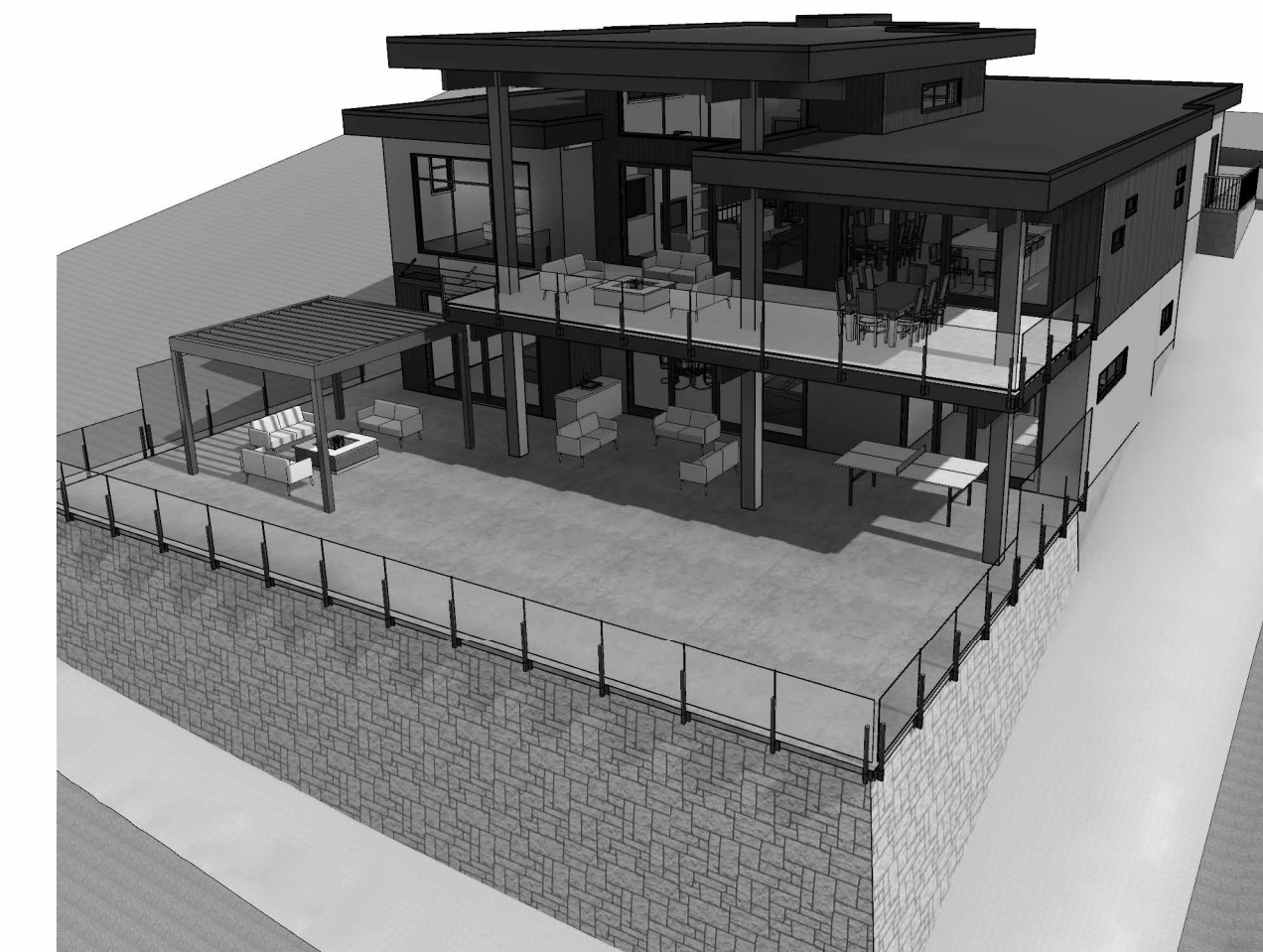
Meyer Designs shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner and contractor

Meyer Designs makes every effort to provide complete and accurate construction drawings. However, we assume no liability for errors or omissions which may affect construction. It is the responsibility of all trades and sub trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise Meyer Designs so the necessary corrections can be made.

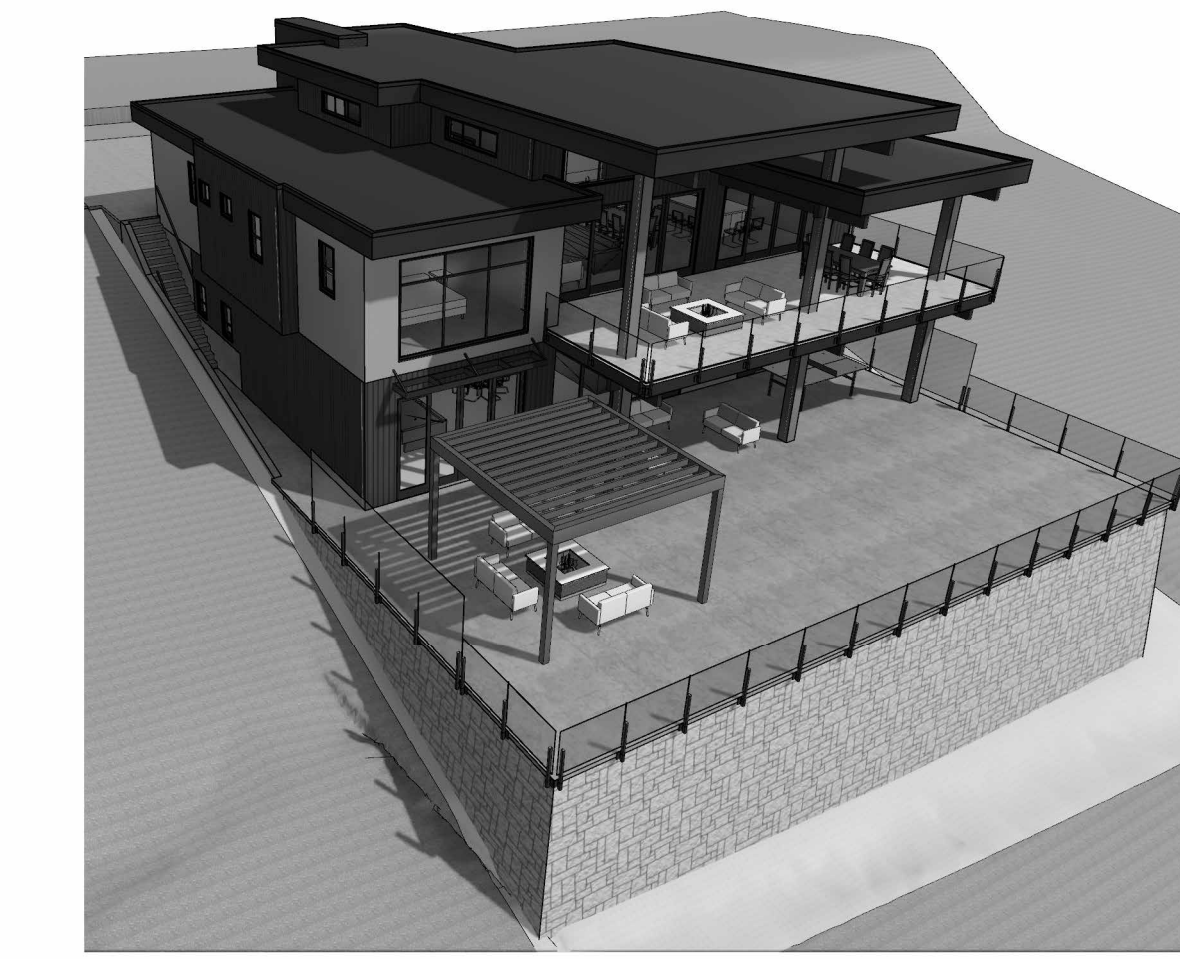


2 Front Perspective

Proposed Residence for Sharon LeClair



3 Rear Perspective



7 Rear Perspective - Birds Eye



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Cover Page and Site Plan

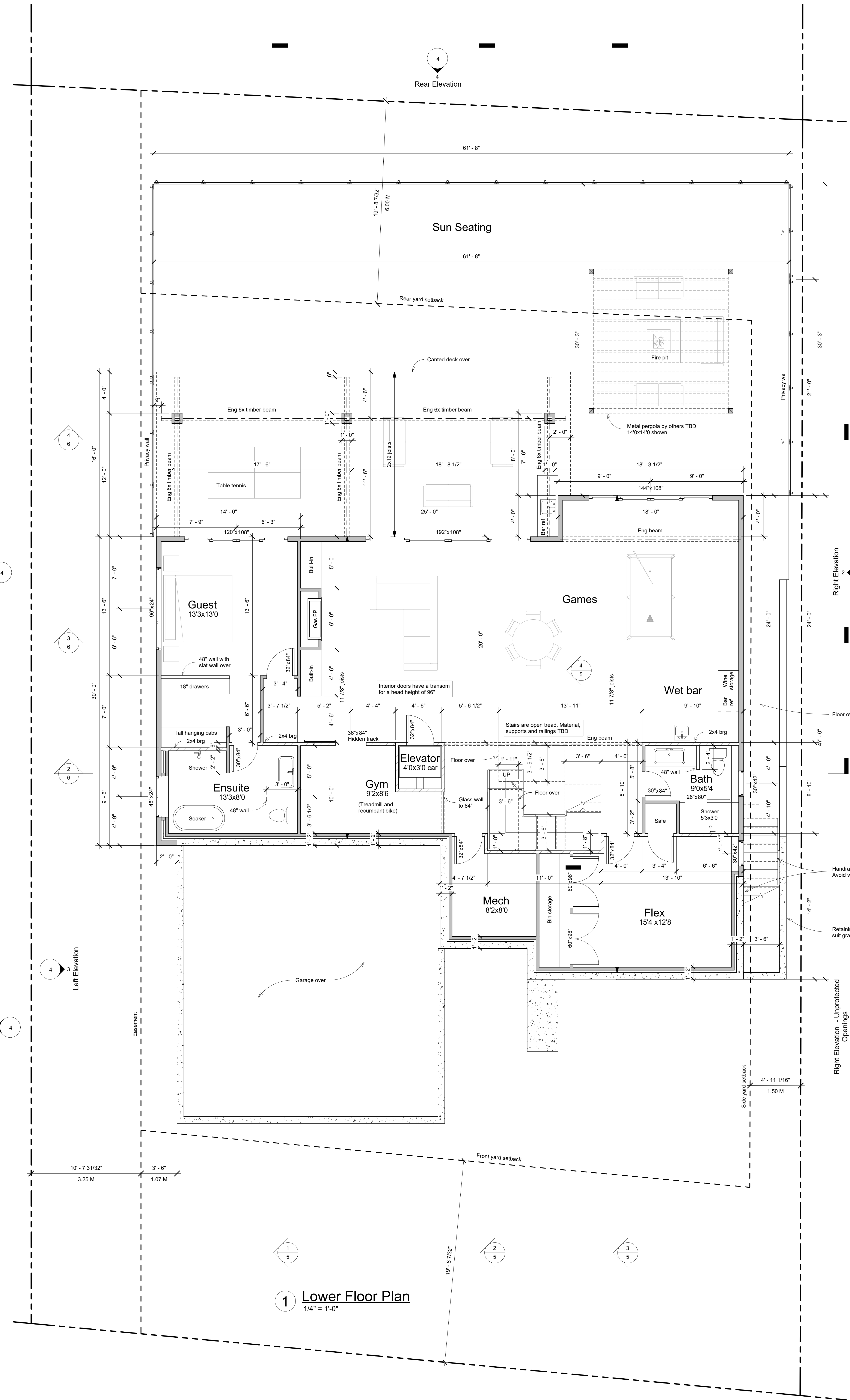
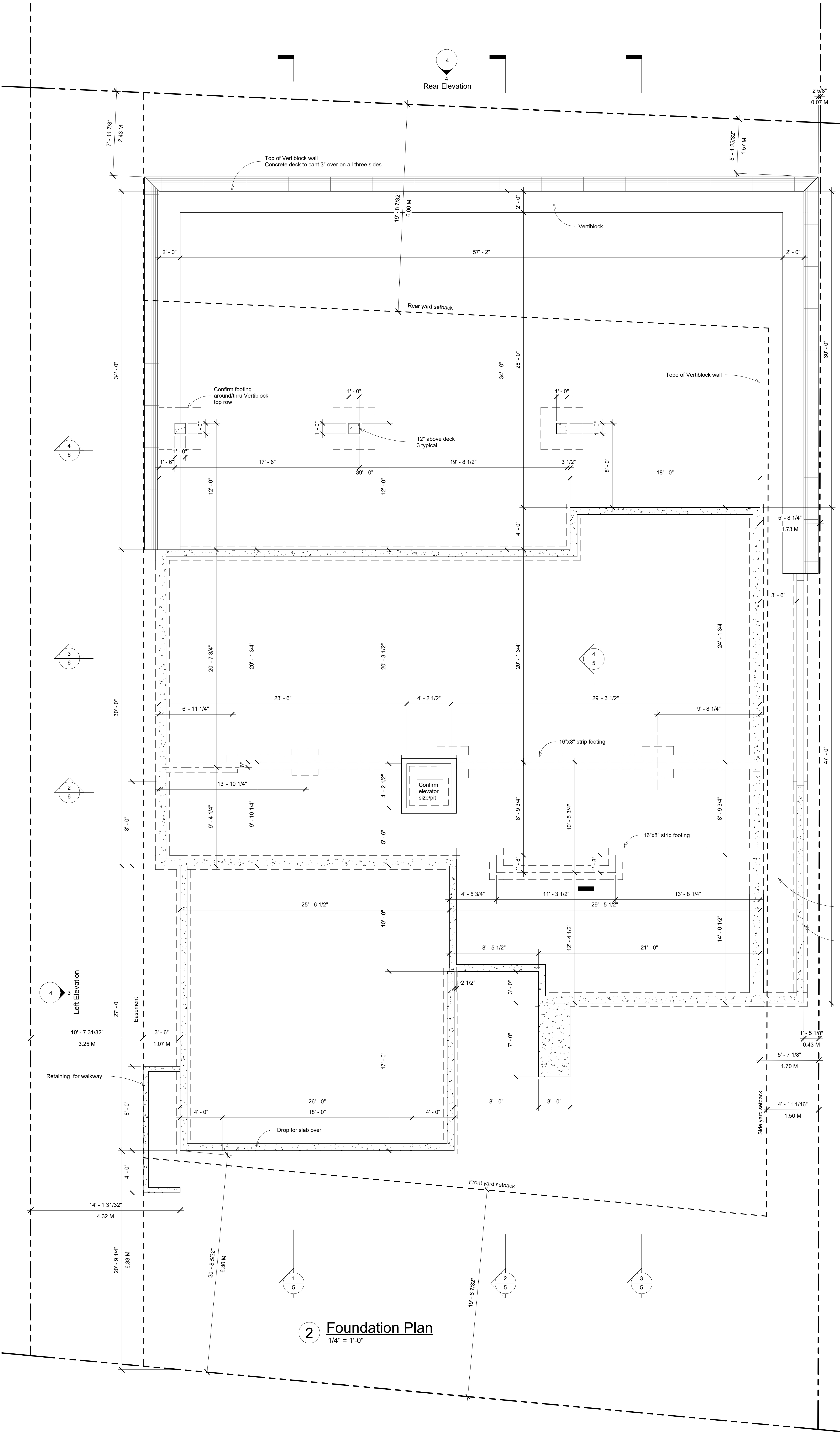
Project number: 2022-031
Date: April 24, 2024
Drawn by: Kelly Meyer

LeClair Residence
1121 - 19th Ave
Salmon Arm, BC

1

For Permit v2.1

Dimensions are to stud on exterior walls and to center or side of stud for interior walls.
Interior doors, if not dimensioned, are 3" from the corner to RO or centered in the wall.



Door Schedule		
Room	Size	Comments
Lower Floor		
Bath	30' x 84"	Interior swing with transom to 96"
Bath	26' x 80"	Hanging glass shower
Ensuite	30' x 84"	Interior swing with transom to 96"
Flex	32' x 84"	Interior swing with transom to 96"
Flex	60' x 96"	Bypass closet
Flex	60' x 96"	Bypass closet
Flex	30' x 84"	Interior swing
Games	152' x 108"	Folding door
Games	144' x 108"	Double patio slider
Guest	120' x 108"	Double patio slider
Guest	32' x 84"	Interior swing with transom to 96"
Gym	36' x 84"	Hidden barn door
Mech	32' x 84"	Interior swing
Main Floor		
Bath	32' x 96"	Interior swing
Bath	26' x 72"	Hanging glass shower
Den/Guest	36' x 96"	Interior swing - full light
Den/Guest	72' x 96"	Exterior double swing - full light
Den/Guest	72' x 96"	Custom hanging panel
Ensuite	32' x 96"	Pocket
Ensuite	36' x 96"	Hanging
Foyer	48' x 96"	Double swing front door
Foyer	42' x 96"	Hanging
Garage	36' x 80"	Exterior swing
Garage	216' x 96"	Overhead garage
Garage	32' x 80"	Exterior swing
Hall	32' x 84"	Interior swing
Kitchen	180' x 96"	Double patio slider
Living	192' x 96"	Double patio slider
Mud/Laundry	30' x 84"	Pocket
Primary	32' x 96"	Interior swing
Grand total: 31		

Window Schedule			
Room	Size	Head Height	Comments
Lower Floor			
Bath	30'x42"	8'-0"	1x2 opener
Ensuite	48'x24"	8'-0"	2x1 fixed
Flex	30'x24"	8'-0"	1x2 opener (gress)
Guest	96'x24"	8'-0"	3x1 fixed
Main Floor			
Bath	60'x24"	8'-0"	2x1 fixed
Bath	60'x24"	5'-6"	2x1 fixed
Den/Guest	30'x48"	8'-0"	1x2 opener
Dining	96'x24"	14'-0"	3x1 fixed
Dining	96'x24"	14'-0"	3x1 fixed
Ensuite	30'x24"	8'-0"	3x1 fixed
Ensuite	30'x24"	8'-0"	3x1 fixed
Foyer	84'x96"	14'-0"	2x2 fixed
Foyer	96'x24"	14'-0"	3x1 fixed
Hall	96'x24"	14'-0"	3x1 fixed
Kitchen	36'x14"	7'-0"	Fixed
Kitchen	36'x14"	7'-0"	Fixed
Kitchen	36'x16"	5'-4"	Opener
Kitchen	36'x16"	5'-4"	Opener
Living	96'x24"	14'-0"	3x1 fixed
Living	192'x48"	14'-0"	4x1 fixed
Primary	30'x48"	8'-0"	3x1 fixed
Primary	30'x48"	8'-0"	1x2 opener (gress)
Primary	144'x56"	8'-0"	3x2 bottom corner openers
Grand total: 23			

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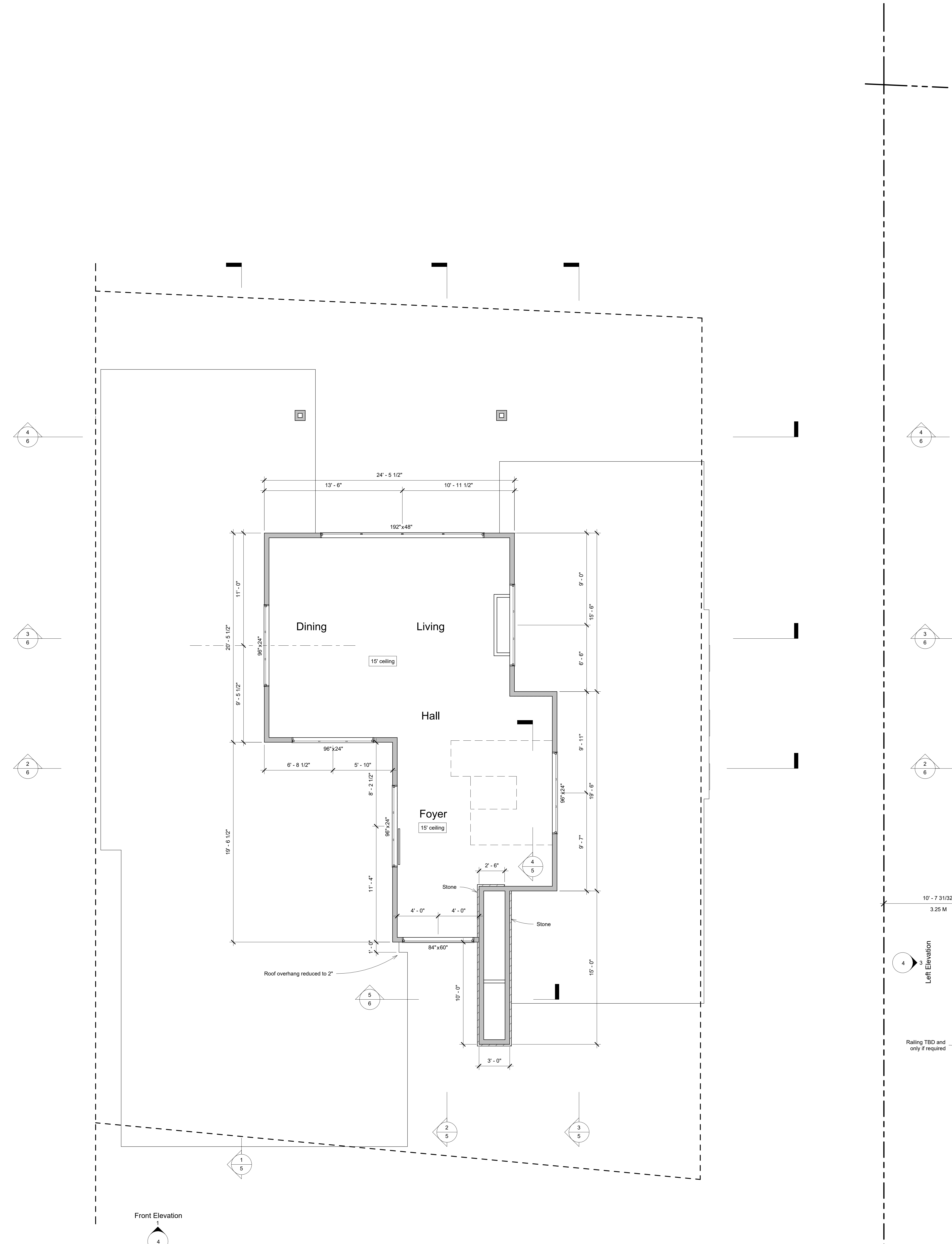
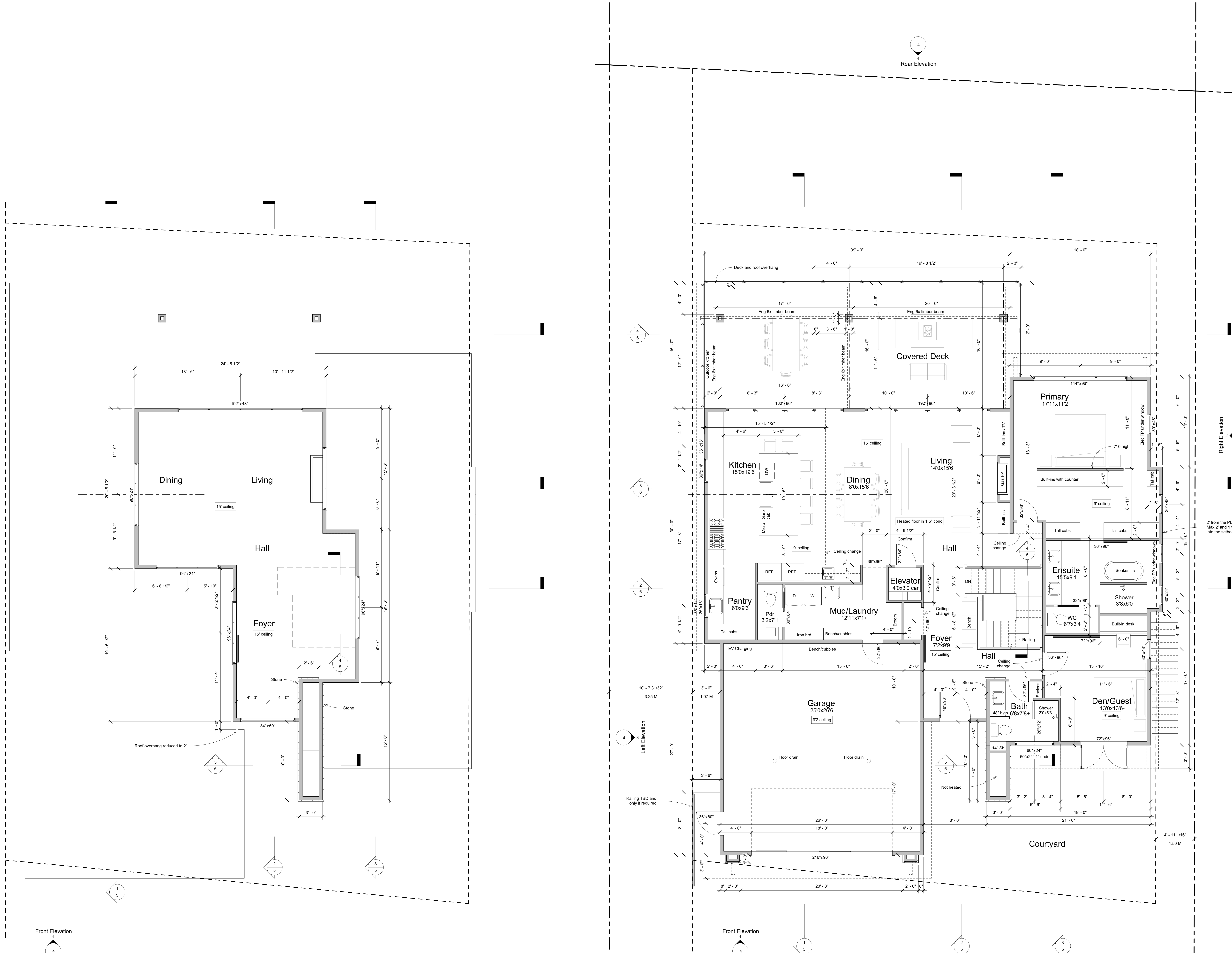
Foundation and Lower Floor Plans

Project number: 2022-031
Date: April 24, 2024
Drawn by: Kelly Meyer

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Salmon Arm, BC

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Dimensions are to stud on exterior walls and to center or side of stud for interior walls.
Interior doors, if not dimensioned, are 3" from the corner to RO or centered in the wall.



Door Schedule		
Room	Size	Comments
Lower Floor		
Bath	30" x 84"	Interior swing with transom to 96"
Bath	26" x 80"	Hanging glass shower
Ensuite	30" x 84"	Interior swing with transom to 96"
Flex	32" x 84"	Interior swing with transom to 96"
Flex	60" x 96"	Bypass closet
Flex	150" x 96"	Bypass closet
Flex	30" x 84"	Interior swing
Games	32" x 84"	Interior swing
Games	152" x 108"	Folding door
Games	144" x 108"	Double patio slider
Guest	120" x 108"	Double patio slider
Guest	32" x 84"	Interior swing with transom to 96"
Gym	36" x 84"	Hidden barn door
Mech	32" x 84"	Interior swing
Main Floor		
Bath	32" x 96"	Interior swing
Bath	26" x 72"	Hanging glass shower
Den/Guest	36" x 96"	Interior swing - full light
Den/Guest	72" x 96"	Exterior double swing - full light
Den/Guest	72" x 96"	Custom hanging panel
Ensuite	32" x 96"	Pocket
Ensuite	36" x 96"	Hanging
Foyer	148" x 96"	Double swing front door
Foyer	42" x 96"	Hanging
Garage	36" x 80"	Exterior swing
Garage	216" x 96"	Overhead garage
Garage	32" x 80"	Exterior swing
Hall	32" x 84"	Interior swing
Kitchen	180" x 96"	Double patio slider
Living	152" x 96"	Double patio slider
Mud/Laundry	30" x 84"	Pocket
Primary	32" x 96"	Interior swing
Grand total:	31	

Window Schedule			
Room	Size	Head Height	Comments
Lower Floor			
Bath	30"x42"	8'-0"	1x2 operer
Ensuite	48"x24"	8'-0"	2x1 fixed
Flex	30"x42"	8'-0"	1x2 operer (gress)
Guest	96"x24"	8'-0"	1x1 fixed
Main Floor			
Bath	60"x24"	8'-0"	2x1 fixed
Bath	60"x24"	5'-6"	2x1 fixed
Den/Guest	30"x48"	8'-0"	1x2 operer
Dining	96"x24"	14'-0"	3x1 fixed
Dining	96"x24"	14'-0"	3x1 fixed
Ensuite	30"x24"	8'-0"	3x1 fixed
Ensuite	30"x24"	8'-0"	3x1 fixed
Foyer	84"x96"	14'-0"	2x2 fixed
Foyer	96"x24"	14'-0"	3x1 fixed
Hall	96"x24"	14'-0"	3x1 fixed
Kitchen	36"x14"	7'-0"	Fixed
Kitchen	36"x14"	17'-0"	Fixed
Kitchen	36"x16"	5'-4"	Operer
Kitchen	36"x16"	5'-4"	Operer
Living	96"x24"	14'-0"	3x1 fixed
Living	192"x48"	14'-0"	4x1 fixed
Primary	30"x48"	8'-0"	3x1 fixed
Primary	30"x48"	8'-0"	1x2 operer (gress)
Primary	144"x96"	8'-0"	3x2 bottom corner operer
Grand total:	23		

2 Main Floor Tall Ceiling
1/4" = 1'-0"

1 Main Floor Plan
1/4" = 1'-0"

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Main Floor Plan

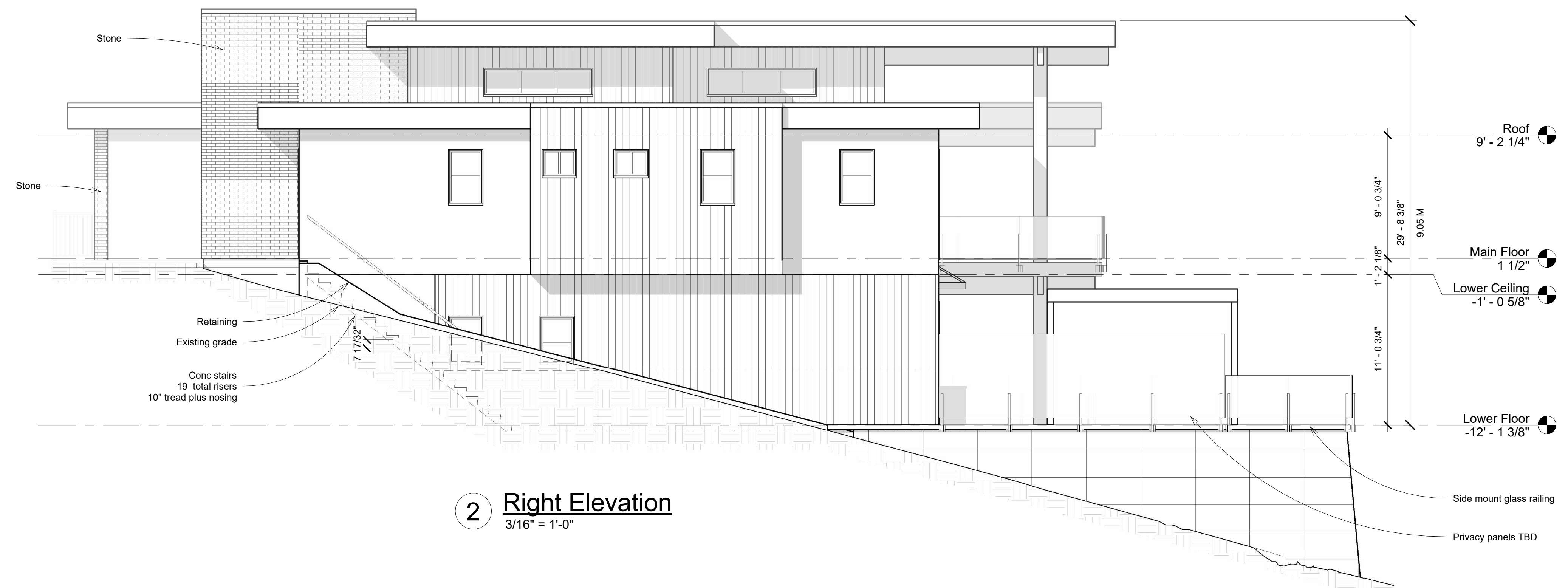
Project number: 2022-031
Date: April 24, 2024
Drawn by: Kelly Meyer

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1121 - 16th Ave
Salmon Arm, BC

3



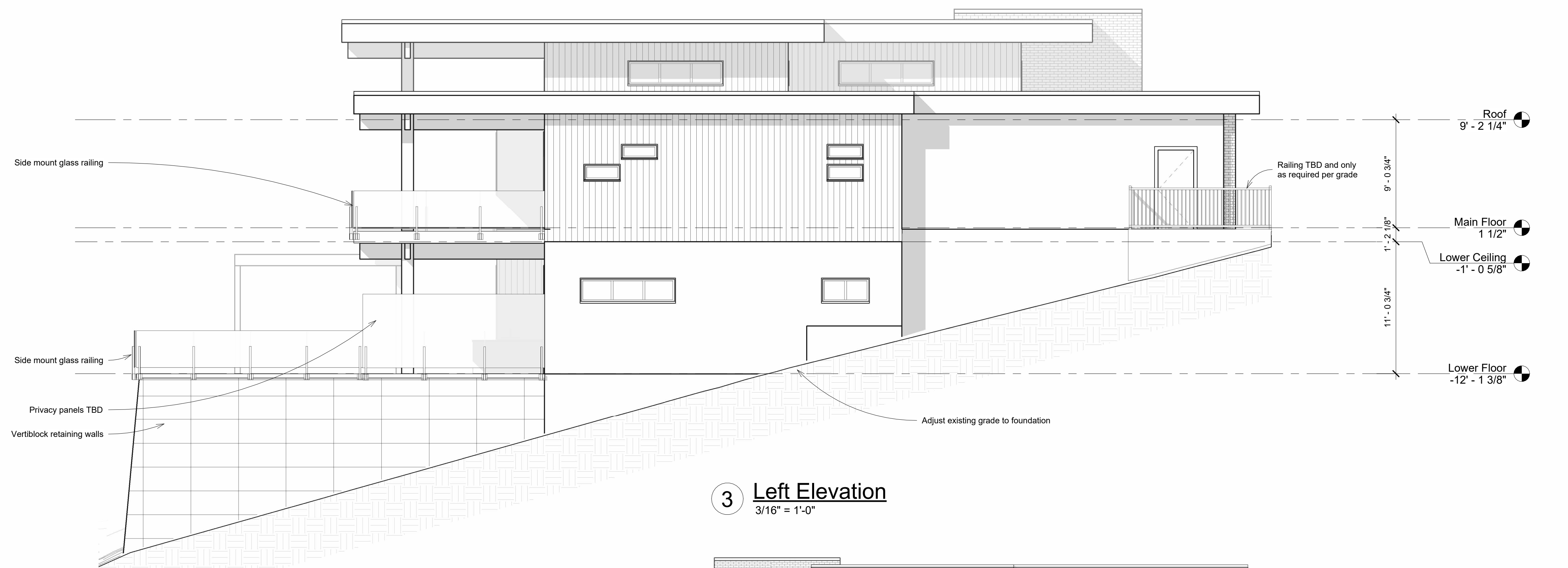
1 Front Elevation
3/16" = 1'-0"



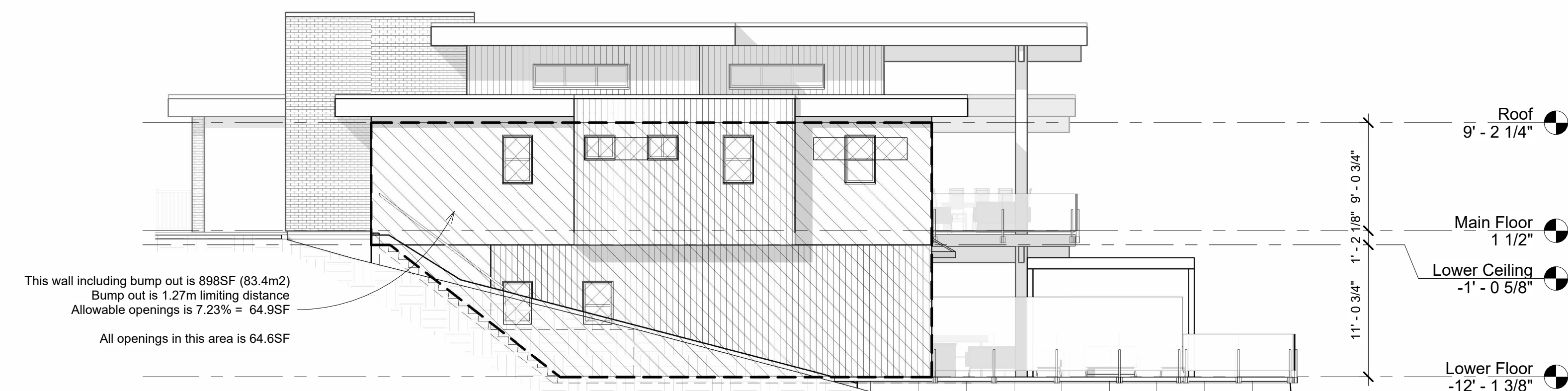
2 Right Elevation
3/16" = 1'-0"



4 Rear Elevation
3/16" = 1'-0"



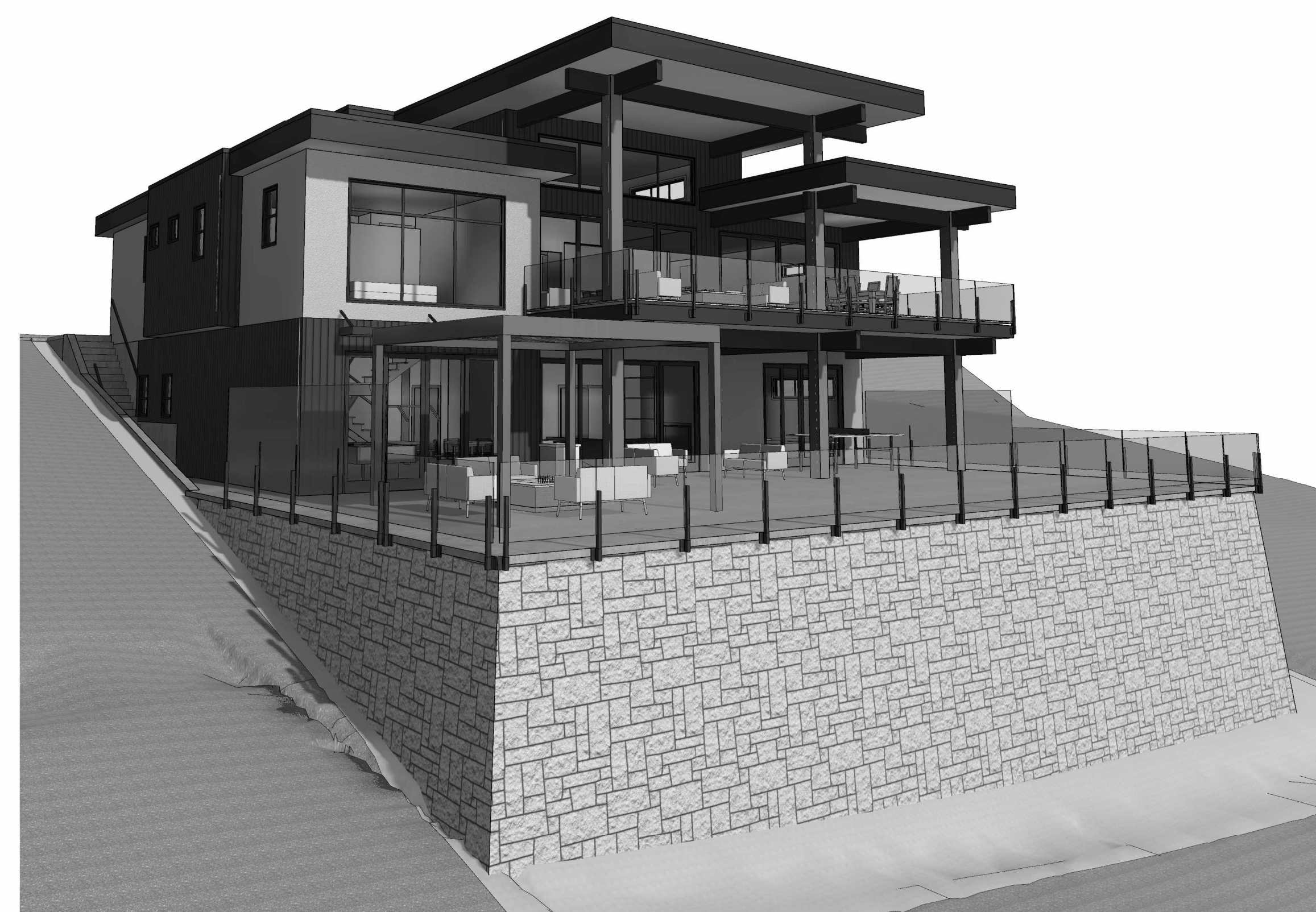
3 Left Elevation
3/16" = 1'-0"



9 Right Elevation - Unprotected Openings
1/8" = 1'-0"



5 Front Left Perspective
3/16" = 1'-0"



7 Rear Left Perspective
3/16" = 1'-0"



8 Rear Right Perspective
3/16" = 1'-0"



6 Front Right Perspective
3/16" = 1'-0"

Typical Cladding

- Stucco**
Smooth acrylic stucco
Minimal trim on windows and door
- Vertical siding**
Vertical 6" trig siding
Minimal trim on windows and door
No or minimal corners
- Brick Veneer**
Cultured or real brick installed per supplier
Painted aluminum flashing over curb
Smooth acrylic stucco
- Fascia**
Painted aluminum flashing over curb
Smooth acrylic stucco
- Deck Edges and Posts**
Clad deck edge painted smart trim
Posts are smooth acrylic stucco
- Exposed Beams**
Structural and blue beams are to be laminated
timber. Stained.

Windows and Doors

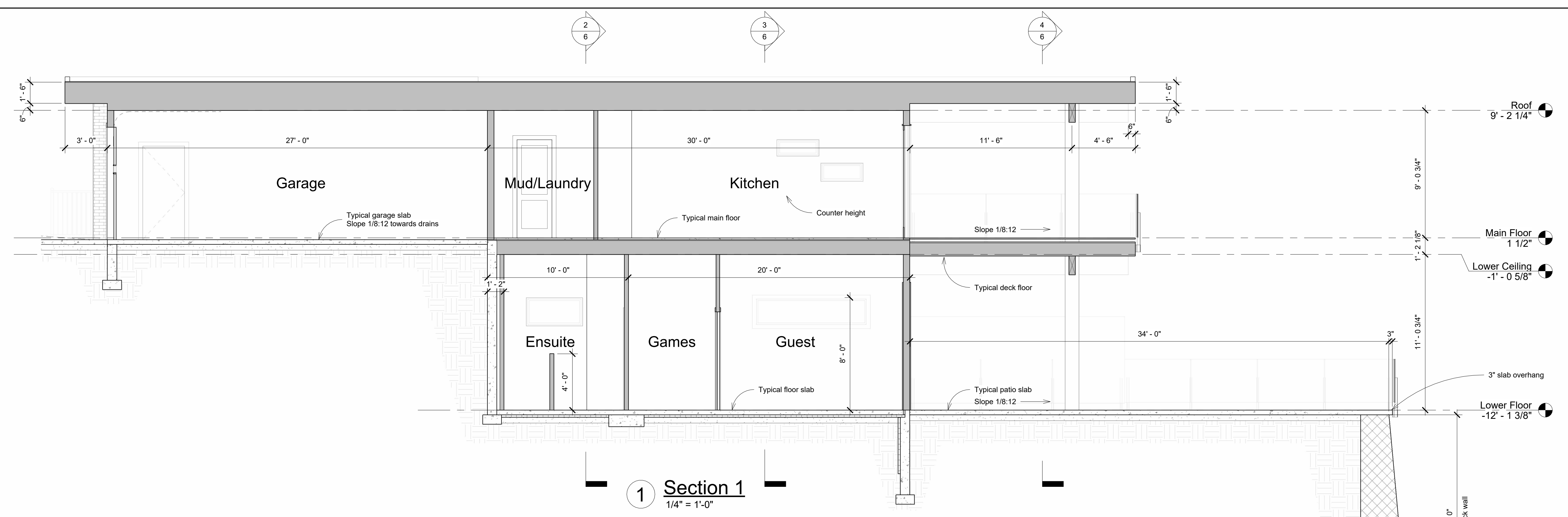
All exterior door and window sizes, patterns, combinations, configurations and separations to be confirmed by window manufacturer to Ensure NAFS (North American Fenestration Standard) compliance.
What is shown on the plans is a representation of the look and feel intended by the designer.
The type of window used and manufacturer specs may vary and therefore need to be confirmed prior to construction.

M
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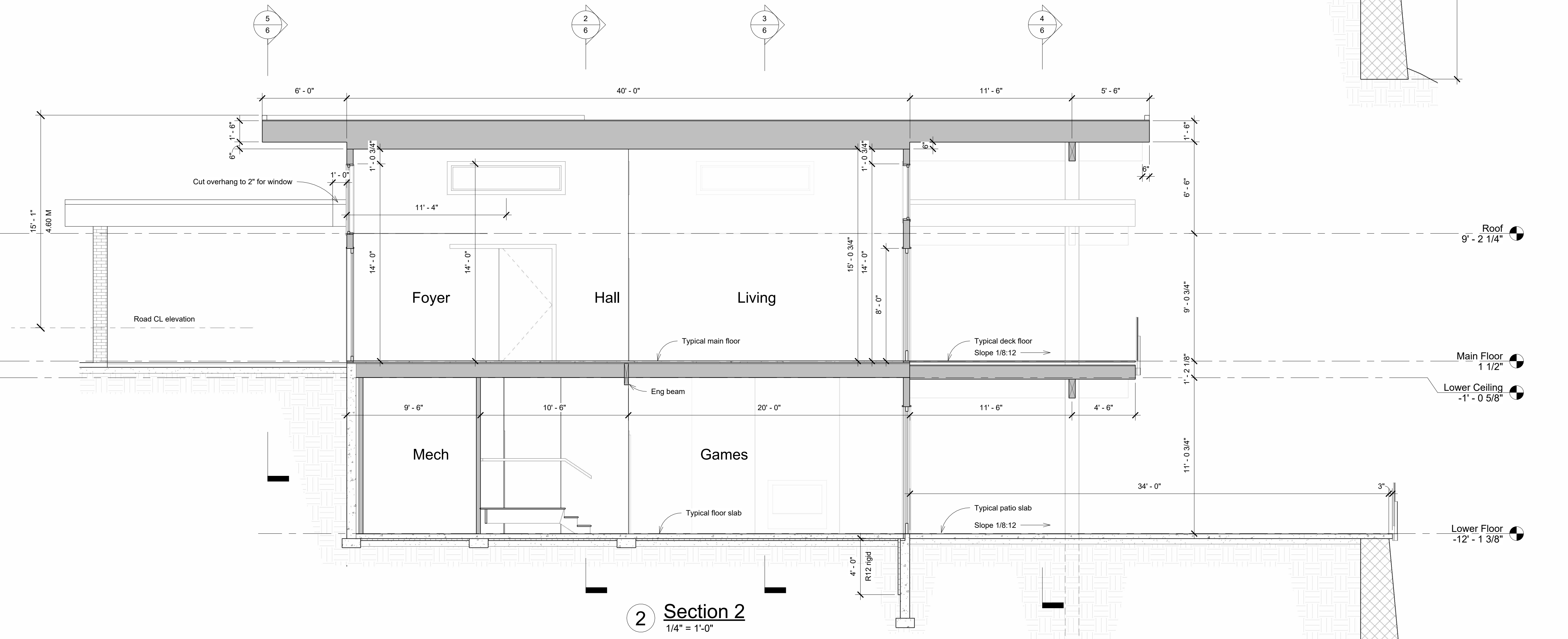
Elevations and Perspectives

Project number 2022-031
Date April 24, 2024
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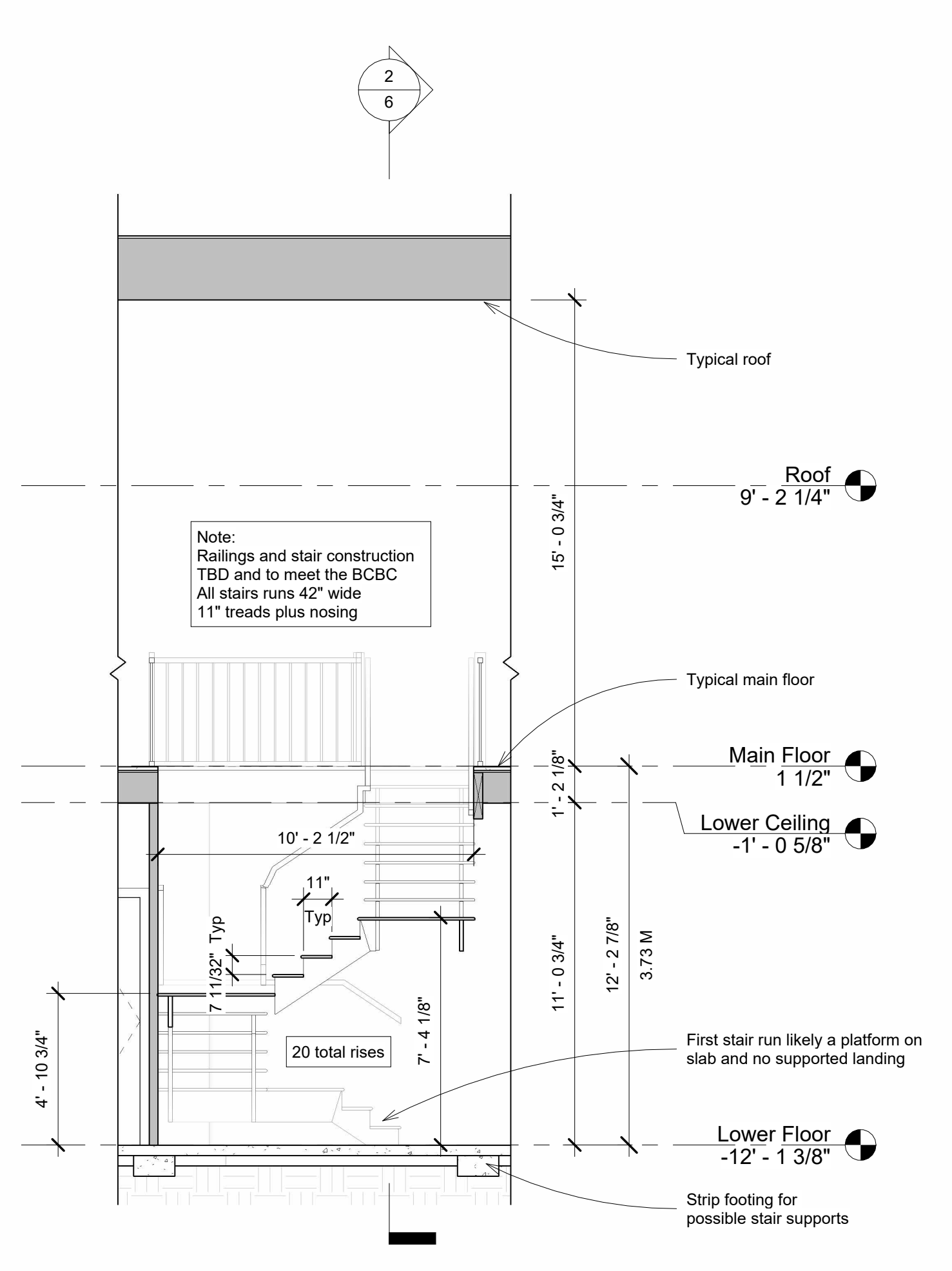
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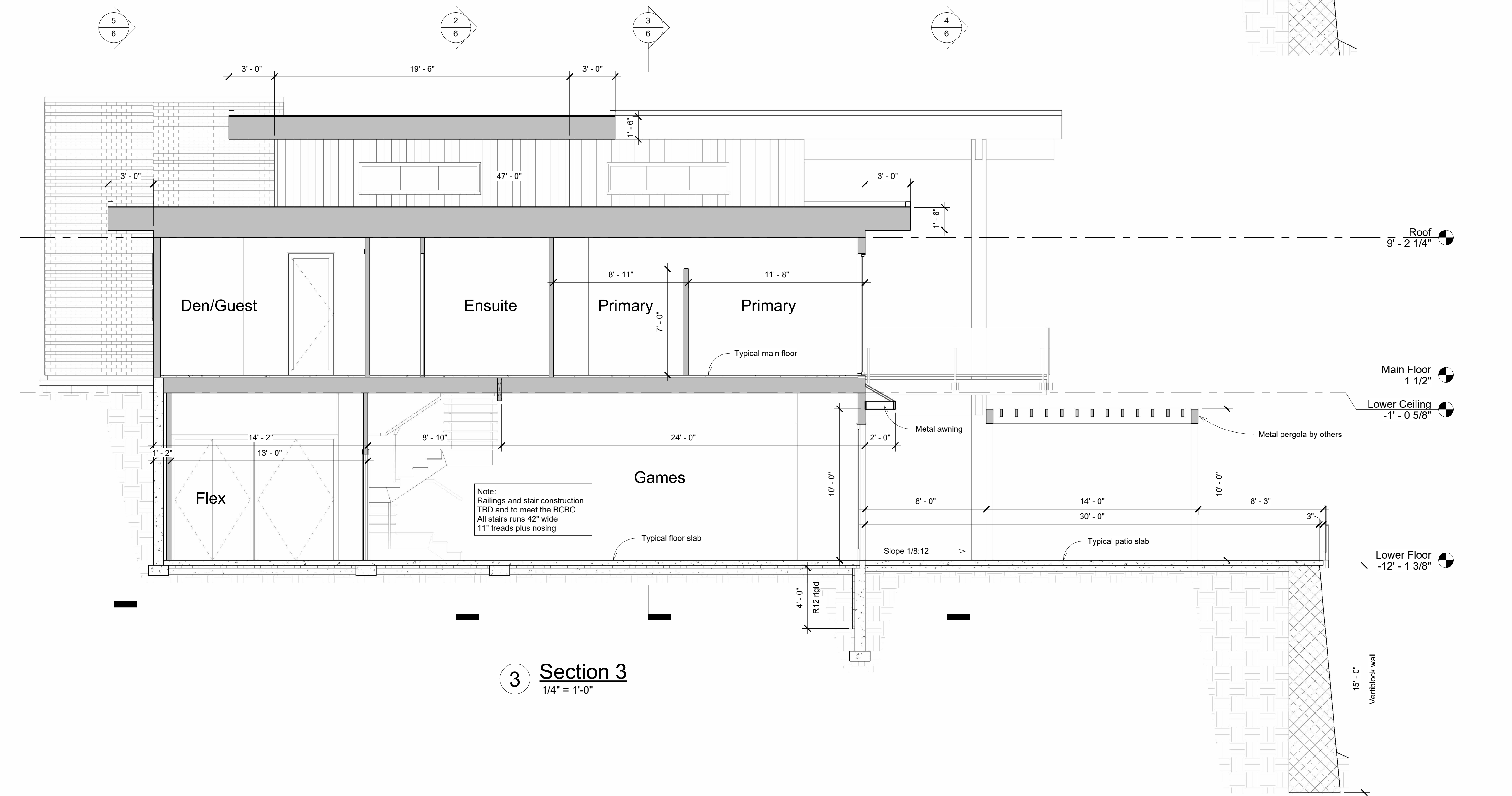
1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



4 Section 4
1/4" = 1'-0"



3 Section 3
1/4" = 1'-0"

Typical Walls

- Foundation wall**
Concrete foundation per engineering
Min 8" walls on 15"Ø footing at minimum frost cover
Dampproofing to intended grade line
Drain tile with slit screen around perimeter
Rigid (R12) insulation on inside of frost walls (4'-0")
- Exterior wall**
Stucco or stone finish
On building paper or wrap
1/2" plywood
2x6 stud wall @ 24" oc
R24 batt insulation
6 mil poly
1/2" drywall
- Interior wall**
2x4 stud wall @ 16" oc
1/2" drywall both sides
- Below grade insulation wall**
8" conc wall with dampproofing
2" air space
2x4 stud wall @ 16" oc (aligned 6" from conc)
R20 batt insulation (1" into airspace)
6 mil poly
1/2" drywall
- Retaining**
Vertical and Retaining walls designed by others

Typical Floors

- Main Floor (Heated and over heated space)**
1.5" conc
3/4" 1/8 plywood
11 1/8" eng joists per supplier
5/8" drywall
- Boxed joist ends**
1" min board
R20 spray insulation
- Floor slab (heated)**
4" finished concrete
Wire mesh reinforcing
1.5" thermal break to foundation
R12 rigid insulation under entire slab heated portion
6 mil poly
5" compacted granular fill
Provide ground venting for radon gas
- Garage floor slab**
4" finished concrete
Slope garage slabs towards door at 1/8:12
10M bars 24" oc BW
6 mil poly
5" compacted granular fill
- Patio slab**
4" finished concrete
10M bars 24" oc BW
6 mil poly
5" compacted granular fill
Slope 1/8:12 away from house
Pool deck portion of patio to be confirm for structure
- Deck floor**
Floating tile decking flush with inside finished floor
Torch on waterproofing
3/4" 1/8 plywood
2x12 joists 16" oc c/w blocking
Vented soffits TBD
Slope 1/8:12 away from house

Typical Roof

- Flat Roof**
2 layers torch-on roofing
7/16" plywood
Eng roof trusses @ 24" oc
24" deep over heated area
1/4" slope for drainage as shown
10" deep overhangs
4" curb c/w metal flashing
Provide roof drains and downspouts
R20 insulation at the ceiling over heated spaces
6 mil poly
5/8" drywall over heated spaces
No attic to vent
Vented soffits under overhangs (TBD)

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Sections and Details

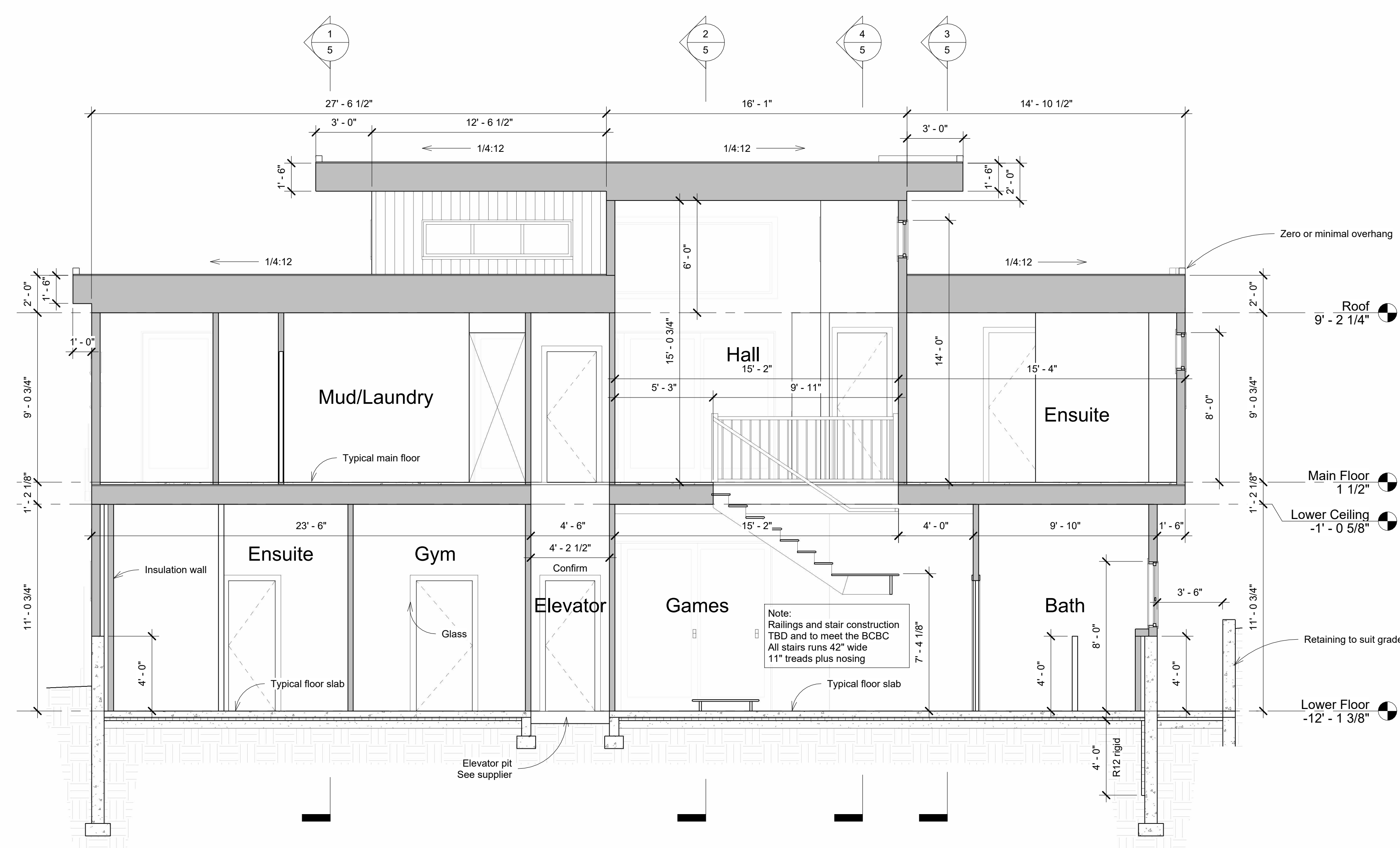
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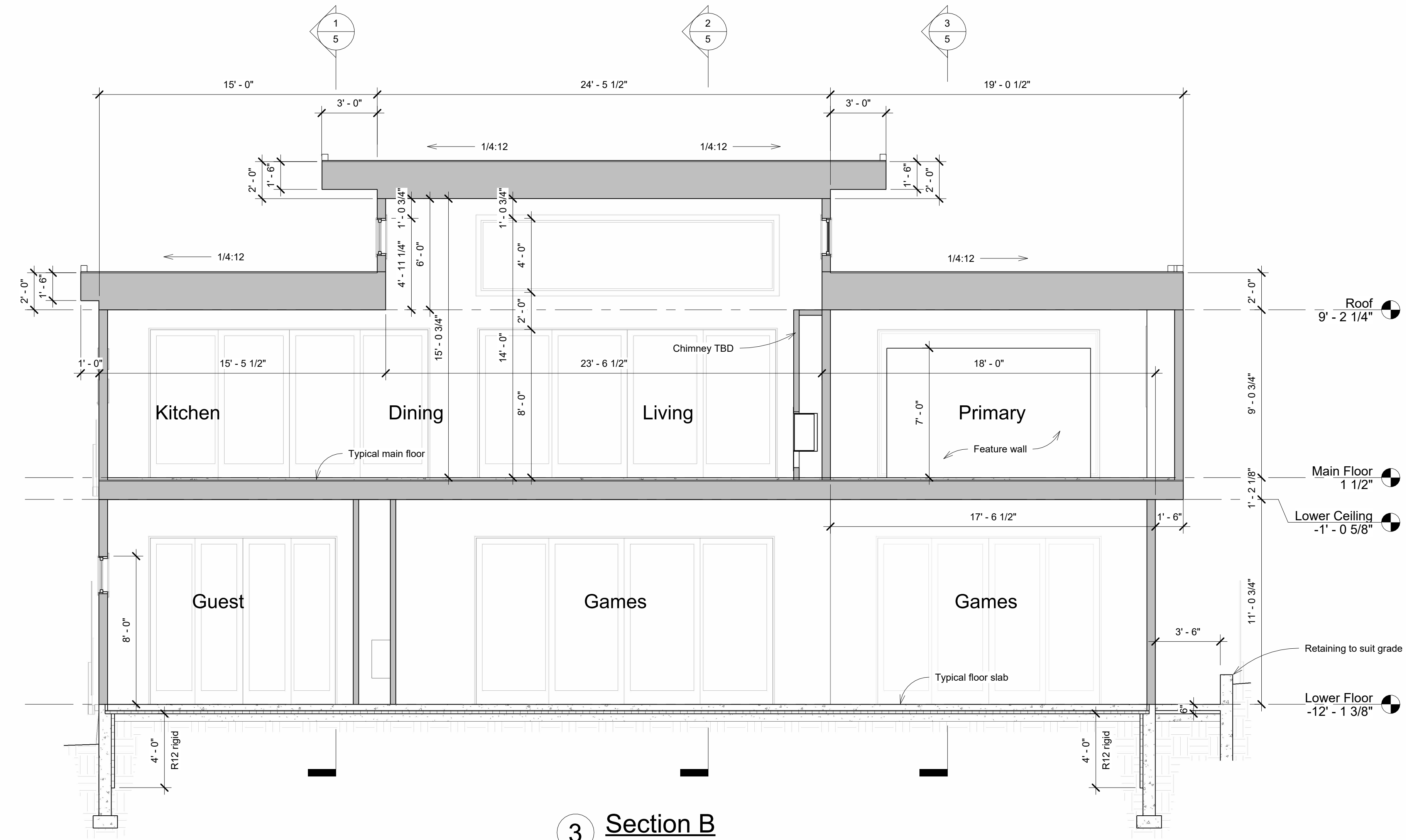
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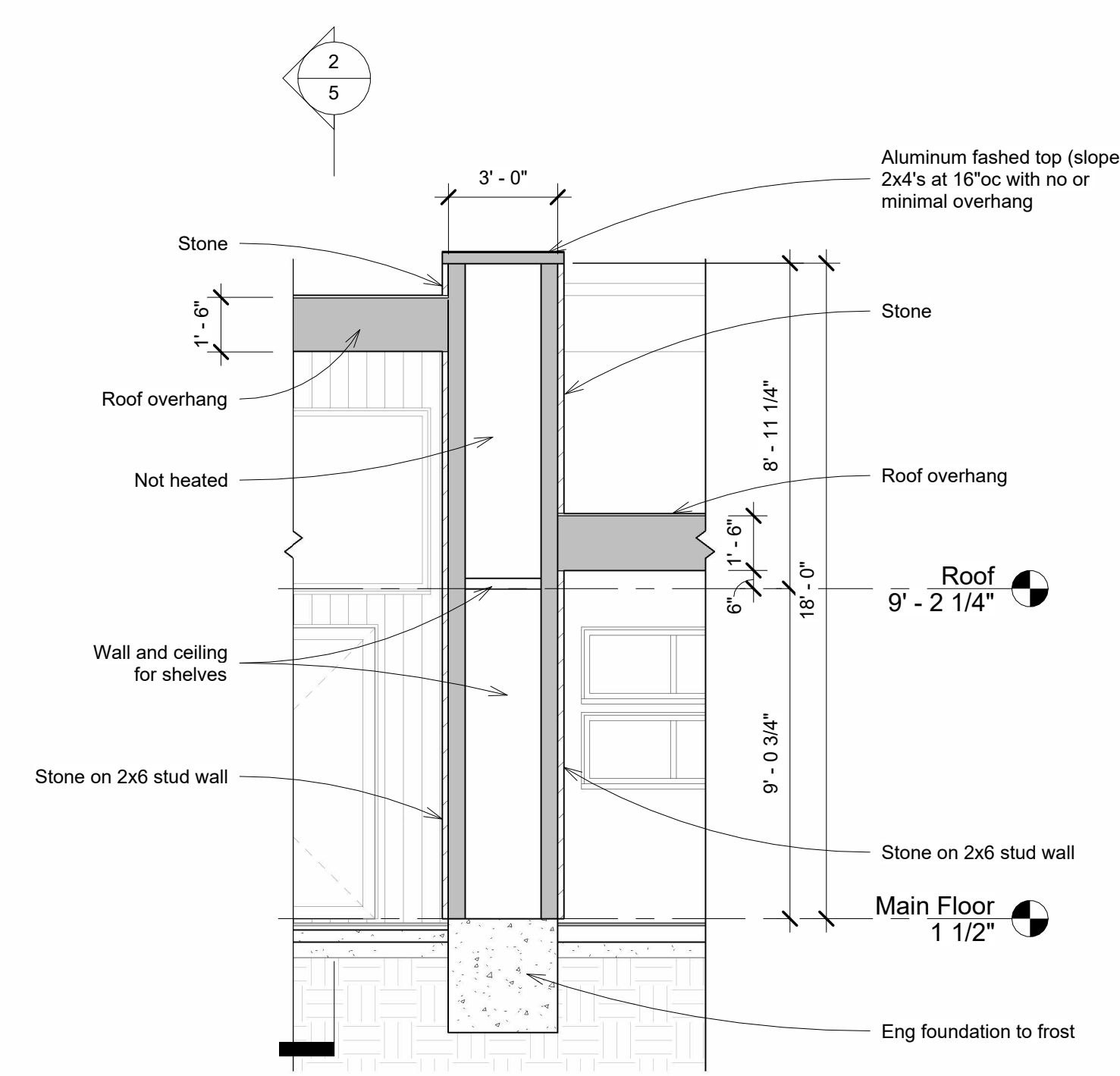
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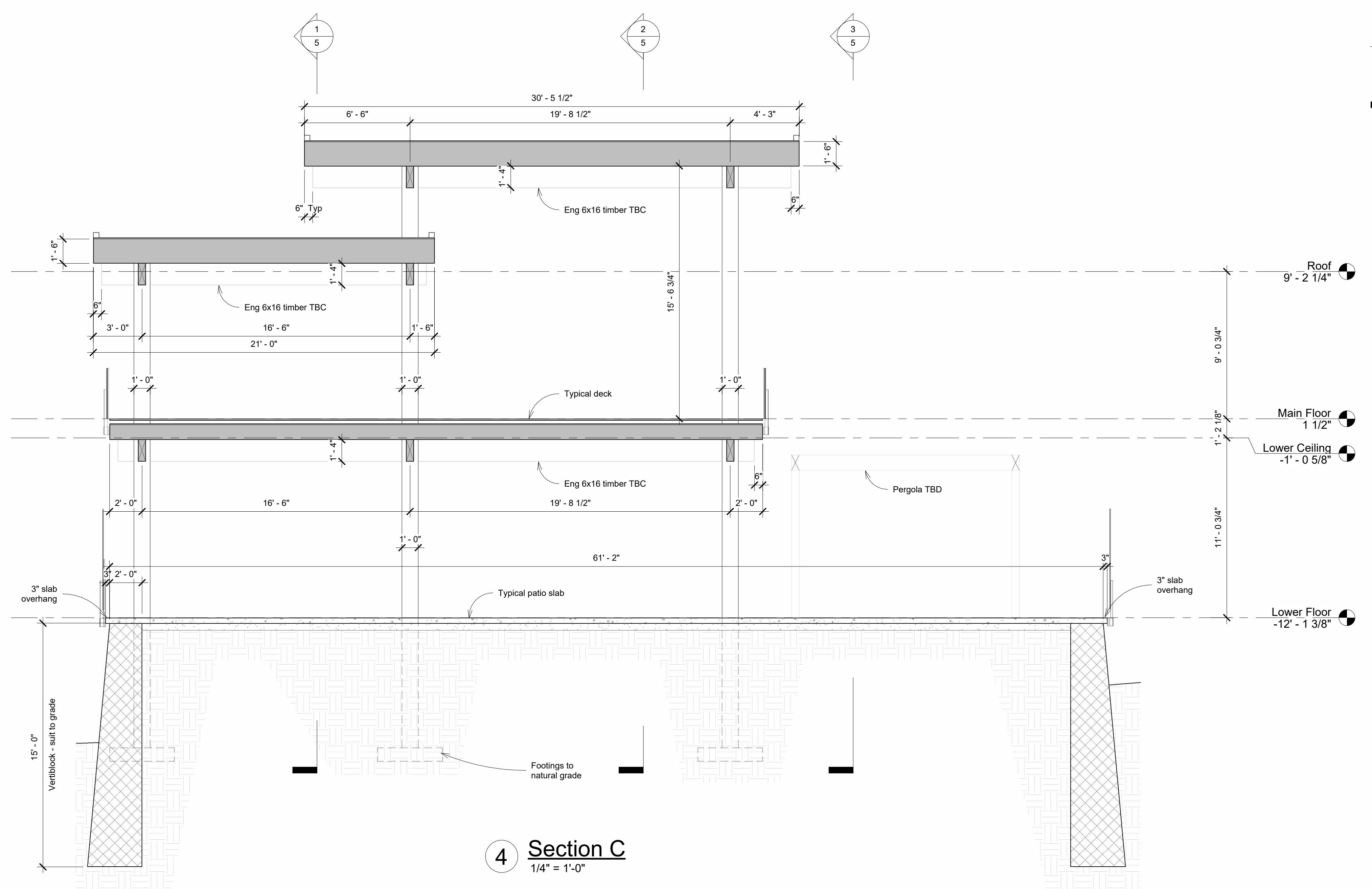
2 Section A
1/4" = 1'-0"



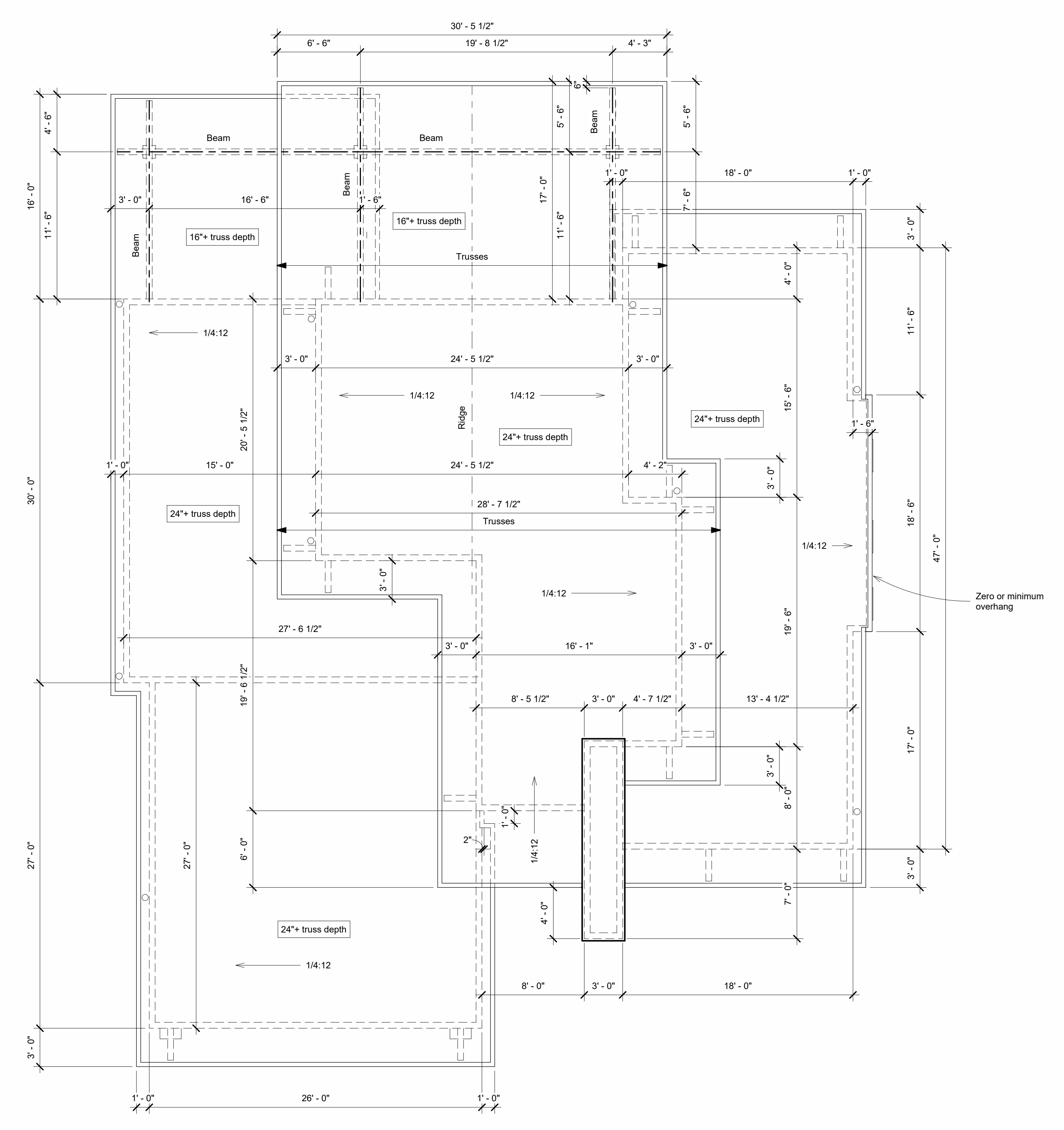
3 Section B
1/4" = 1'-0"



5 Section D
1/4" = 1'-0"



4 Section C
1/4" = 1'-0"



1 Roof Plan
3/16" = 1'-0"

Typical Walls

- Foundation wall**
Concrete foundation per engineering
Min 8" walls on 15" footing at minimum frost cover
Dampproofing to intended grade line
Drain tile with slit screen around perimeter
Rigid (R12) insulation on inside of frost walls (4'-0")
- Exterior wall**
Stucco or stone finish
On building paper or wrap
1/2" plywood
2x6 stud wall @ 24" oc
R24 batt insulation
6 mil poly
1/2" drywall
- Interior wall**
2x4 stud wall @ 16" oc
1/2" drywall both sides
- Below grade insulation wall**
8" concrete wall with dampproofing
2" air space
2x4 stud wall @ 16" oc (aligned 6" from conc)
R20 batt insulation (1" into airspace)
6 mil poly
1/2" drywall
- Retaining**
Verticorb and Retaining walls designed by others

Typical Floors

- Main Floor** (Heated over heated space)
1.2" concrete
3/4" 1/4 plywood
11" R19 insul joists per supplier
5/8" drywall
- Boxed joist ends**
1" pin board
R20 spray insulation
- Floor slab** (heated)
4" finished concrete
Wire mesh reinforcing
1.5" thermal break to foundation
R12 rigid insulation under entire slab heated portion
6 mil poly
5" compacted granular fill
Provide ground venting for radon gas
- Garage floor slab**
4" finished concrete
Slope garage slabs towards door at 1/8:12
10M bars 24" oc BW
6 mil poly
5" compacted granular fill
- Patio slab**
4" finished concrete
10M bars 24" oc BW
6 mil poly
5" compacted granular fill
Slope 1/8:12 away from house
Pool deck portion of patio to be confirm for structure
- Deck floor**
Floating tie decking flush with inside finished floor
Torch on waterproofing
3/4" 1/4 plywood
2x12 joists 16" oc c/w blocking
Vented soffits TBD
Slope 1/8:12 away from house

Typical Roof

- Flat Roof**
2 layers torch-on roofing
7/16" plywood
Eng roof trusses @ 24" oc
24" deep over heated area
1/4" slope for drainage as shown
10" deep overhang
4" curb c/w metal flashing
Provide roof drains and downspouts
R20 insulation at the ceiling over heated spaces
6 mil poly
5/8" drywall over heated spaces
No attic vent
Vented soffits under overhangs (TBD)

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Sections, Roof Plan and Details

Project number 2022-031
Date April 24, 2024
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LeClair Residence
1121 - 15th Ave
Salmon Arm, BC

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For Permit v2.1